



City of Bay City  
Planning & Development Services Division  
1217 Avenue J, Bay City, Texas, 77414  
(979) 323-1173



## New Residential Plan Review Checklist

*Submission of digital plan sets is recommended. If you are submitting a hard copy, two (2) sets of plans are required.  
Plan Review and Inspections will be completed by Bureau Veritas.*

Project Address: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ **Completed Building Permit Application**

\_\_\_\_\_ **Site Plans to include**

Legal Description (lot, block, subdivision)

North arrow and scale

Property lines and lot dimensions

All easements

Proposed structure and all existing buildings

Driveways and sidewalk dimensions

Setbacks for front, rear and sides of house must be shown on site plan

\_\_\_\_\_ **Residential Energy Code Compliance Report – Rescheck, IC3 report and Energy Star reports accepted.** [www.energycodes.org](http://www.energycodes.org)

\_\_\_\_\_ **Foundation Plans** – Conventional Rebar Slab Foundation, Regionally Accepted Practices, Foundation Detail (Reference IRC) or Engineered plans or Post Tension Foundation – Engineered Foundation plans and letter. Engineered plans must state that the foundation was designed for the soil conditions on that particular lot and that the foundation meets the design criteria of the IRC.

\_\_\_\_\_ **House plans** - Floor plan, exterior elevations, roof design, mechanical design, electrical design, plumbing design, construction details, window/door schedule, masonry on wood details, sheer wall details (engineered if required by the city).

\_\_\_\_\_ **Driveway approaches and drainage culverts** – Engineered plans (Driveways accessing State Highways require TXDOT permit)

\_\_\_\_\_ **Water and sewer tap requests** - both forms must be submitted with the permit application and must be paid before the building permit is issued.



## Residential Permit Submittal Requirements

**CONSTRUCTION DOCUMENT SUBMITTALS:** Construction documents must be submitted along with a completed permit application form including project address, applicant name, phone # and email address. Note: Incomplete permit applications will delay the plan review and permit approval processes

**Site plans (plot plans)** drawn to a scale of 1" = 20'. Site plans must show lot dimensions, footprint of building and distance from building to property lines, platted building lines, driveways, all easements, and the address and legal description of the lot.

**Floor plans** drawn to a scale of ¼" = 1'. Floor plans must show all dimensions, room names, size and type of windows and doors, cabinets and fixtures, and ceiling heights.

**Exterior elevation plans** drawn to a scale of ¼" = 1'. Exterior elevation plans must show exterior materials, windows and doors, roof slopes, chimneys, and overhangs.

**Structural plans**, where required, drawn to a scale of ¼" = 1'. Structural plans must show second floor framing, ceiling framing, roof framing, headers, and beams.

**Foundation plans** (must be sealed by a State of Texas Licensed Engineer or Foundation Detail (Refer to IRC for additional requirements) drawn to a scale of ¼" = 1'. Foundation plans must show all dimensions, location and spacing of beams, location of post-tensioning cables (if applicable), location and sizes of rebar (if applicable), concrete specifications, slab thickness, beam sizes and details, post-tensions cable details (if applicable), other notes and requirements by the Engineer, and the address and legal description of the lot.

**Engineer's foundation design letters.** Letters must include a statement that the foundation has been designed specifically for soil conditions of listed lot and that design is in accordance with the building code, must be sealed by the State of Texas Licensed Engineer that designed the foundation plans, and must show the address and legal description of the lot.

**Engineered Wind Bracing Plans – comply with current adopted City Codes**

**Masonry on Wood details**, if applicable. Masonry on wood details must be sealed by a State of Texas Licensed Engineer or built to the International Residential Code details.

**Electrical plans** (may be combined with floor plan) drawn to a scale of ¼" = 1'. Electrical plans must show location of receptacles and other outlets, exhaust fans, smoke detectors, light fixtures, service equipment and panels.

**Plumbing plans** (may be combined with floor plan) drawn to a scale of ¼" = 1'. Plumbing plans must show location of fixtures, water heaters, and gas outlets.

**Mechanical plans** (may be combined with floor plan) drawn to a scale of ¼" = 1'. Mechanical plans must include engineering calculations, diagrams, location and nature and extent of the work proposed.

**Energy Compliance Report ([www.energycodes.gov](http://www.energycodes.gov)) (IC3 reports: <http://ic3.tamu.edu>)**

**NOTE:** A Form Survey sealed by a State of Texas Licensed Surveyor will be required to be on site for the Plumbing Rough Inspection.



## Typical Residential Inspections and Request Form

BV Task Management System has the ability to add other department approvals to the list of required inspections, as requested by the city.

- |  |   |
|--|---|
| <input type="checkbox"/> Plumbing Rough<br><input type="checkbox"/> Water Service<br><br><input type="checkbox"/> Yard Sewer<br><input type="checkbox"/> Form Board Survey<br><br><input type="checkbox"/> Electrical Underground (Concrete Encased Grounding Electrode / UFER Ground)<br><input type="checkbox"/> Foundation (sealed and signed Foundation Engineers pre-pour inspection report required for all engineered foundations)<br><br><input type="checkbox"/> Electric Rough<br><input type="checkbox"/> Mechanical Rough<br><input type="checkbox"/> Gas Rough Piping/Test<br><input type="checkbox"/> Plumbing Top-Out<br><input type="checkbox"/> Framing<br><input type="checkbox"/> Windstorm (Contractor provides to city as required) | <input type="checkbox"/> Energy Insulation<br><input type="checkbox"/> Flatwork / Approach Windstorm (Contractor provides to city as required)<br><br><input type="checkbox"/> Electrical Final<br><input type="checkbox"/> Mechanical Final<br><input type="checkbox"/> Plumbing Final<br><br><input type="checkbox"/> Energy Final<br><br><input type="checkbox"/> Building Final<br><input type="checkbox"/> Customer Svc. Insp. Form<br><br><input type="checkbox"/> T-Pole<br><input type="checkbox"/> Flatwork / Approach |
|--|---|

Email Inspection requests: [permits@cityofbaycity.org](mailto:permits@cityofbaycity.org)  
 REQUESTS MUST BE RECEIVED BY 3:30 PM FOR NEXT DAY INSPECTION  
 For Questions: 979-323-1173

*Prior to scheduling an inspection, please be sure all subcontractors have obtained permits, if applicable.*

Requestor's Name:	Requestor's Phone:
Requestor's Email Address:	Company:
Project Address:	
City & County of Project(s):	Subdivision:
Permit #:	Date Needed:



**BUREAU  
VERITAS**

# RESIDENTIAL INSPECTION RECORD

This record must remain on site until project completion

PROJECT ADDRESS \_\_\_\_\_ PERMIT# \_\_\_\_\_

## DO NOT COVER WORK UNTIL APPROVED

Approved

Inspection		Date	Inspector	Comments
<b>UNDERGROUND</b>	T-Pole			
	Plumbing Rough			
	Water Service			
	Building Sewer			
	Form Survey			
	Electric Underground			
	Mechanical Underground			
<b>FDTN</b>	Pier			
	Footing			
	Grade Beam			
	Foundation			
<b>FRAME &amp; 2NDS</b>	Electric Rough			
	Plumbing Top-Out			
	Gas Rough Piping Test			
	Mechanical Rough			
	Fireplace			
	Framing			
	Energy Insulation			
<b>MTR</b>	Electric Meter Release			
	Gas Meter Release			
<b>FINALS</b>	Electrical Final			
	R.O.W. Tag (FW only)			
	Mechanical Final			
	Fireplace Final			
	Plumbing Final			
	Customer Service Letter			
	Gas Final			
	Energy Final			
Building Final				

Comments \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

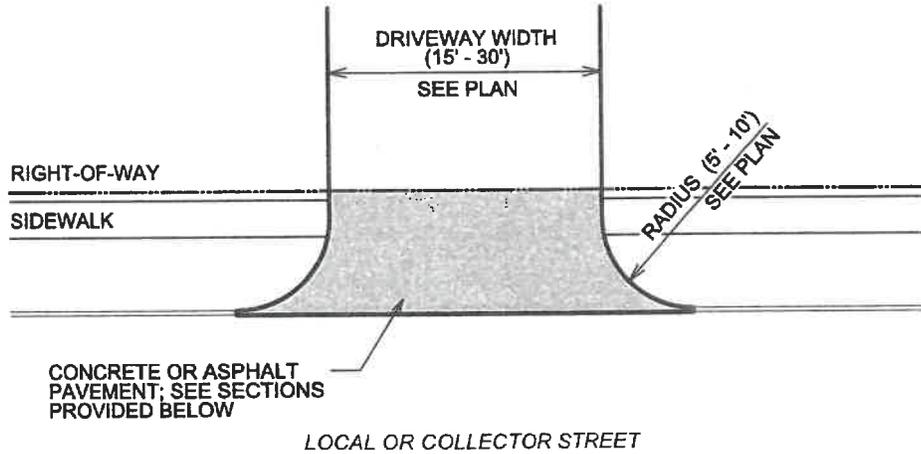
**REQUESTS MUST BE RECEIVED BY 3:30 P.M. FOR NEXT DAY INSPECTION**

Email: [permits@cityofbaycity.org](mailto:permits@cityofbaycity.org)

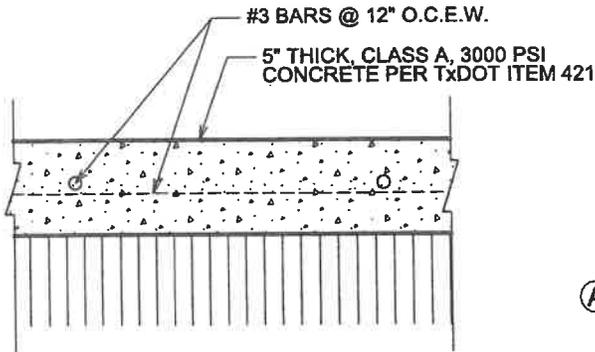
Phone: 979-323-1173

# GENERAL NOTES

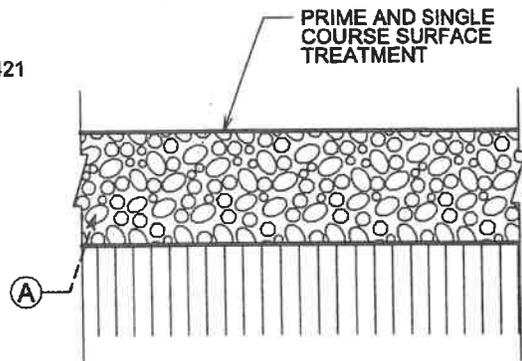
1. FOR CONCRETE PAVED DRIVEWAY USE CONSTRUCTION JOINT DETAIL IF JOINING TO EXISTING CONCRETE DRIVEWAY. USE EXPANSION JOINT DETAIL AT RIGHT-OF-WAY LINE.
2. FOR CONCRETE PAVED DRIVEWAY GRADE OF REINFORCING STEEL SHALL BE ASTM A615 GRADE 40 IN ACCORDANCE WITH TxDOT ITEM 440.
3. FOR CONCRETE PAVED DRIVEWAY ALL REBAR TO BE SET ON BAR CHAIRS. PLASTIC OR METAL BAR CHAIRS ARE ACCEPTABLE; NO BRICKS, BROKEN CONCRETE, ROCKS, ETC.
4. SUBGRADE SHALL BE COMPACTED TO 90% STANDARD PROCTOR.



(A) 6" TYPE A, GRADE 2 CRUSHED LIMESTONE PER TxDOT ITEM 247. MATERIAL SHALL BE PLACED IN MAXIMUM 6" COMPACTED LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY (ASTM D1557) AT A MOISTURE CONTENT OF  $\pm 2\%$  OF OPTIMUM



CONCRETE PAVEMENT



ASPHALT PAVEMENT



## RESIDENTIAL DRIVEWAY (CONNECTING TO LOCAL OR COLLECTOR)

### STANDARD CONSTRUCTION DETAILS

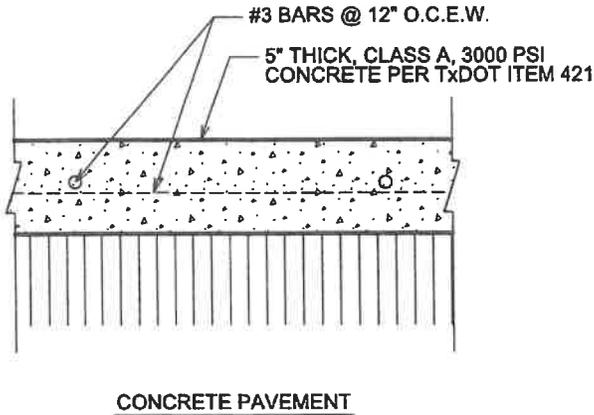
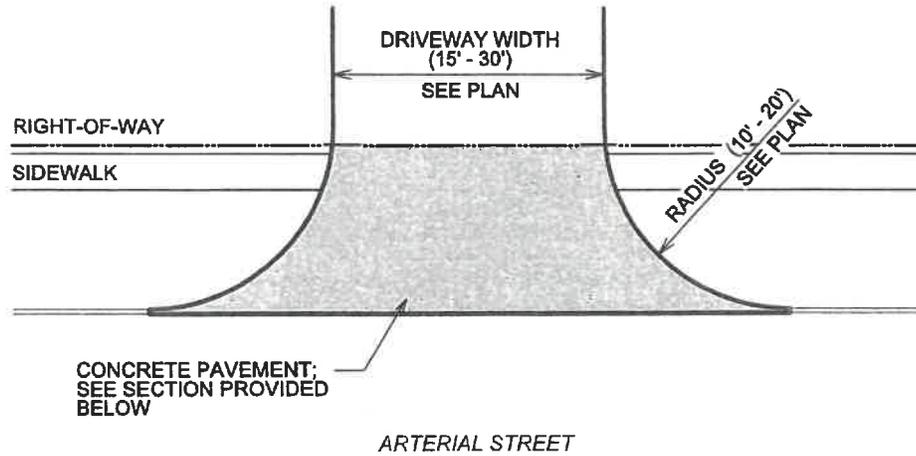
DATE: 11/22/19

REVISED  
DATE: 11/22/19

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**GENERAL NOTES**

1. FOR CONCRETE PAVED DRIVEWAY USE CONSTRUCTION JOINT DETAIL IF JOINING TO EXISTING CONCRETE DRIVEWAY. USE EXPANSION JOINT DETAIL AT RIGHT-OF-WAY LINE.
2. FOR CONCRETE PAVED DRIVEWAY GRADE OF REINFORCING STEEL SHALL BE ASTM A615 GRADE 40 IN ACCORDANCE WITH TxDOT ITEM 440.
3. FOR CONCRETE PAVED DRIVEWAY ALL REBAR TO BE SET ON BAR CHAIRS. PLASTIC OR METAL BAR CHAIRS ARE ACCEPTABLE; NO BRICKS, BROKEN CONCRETE, ROCKS, ETC.
4. SUBGRADE SHALL BE COMPACTED TO 90% STANDARD PROCTOR.



**RESIDENTIAL DRIVEWAY  
(CONNECTING TO ARTERIAL)**

STANDARD CONSTRUCTION DETAILS

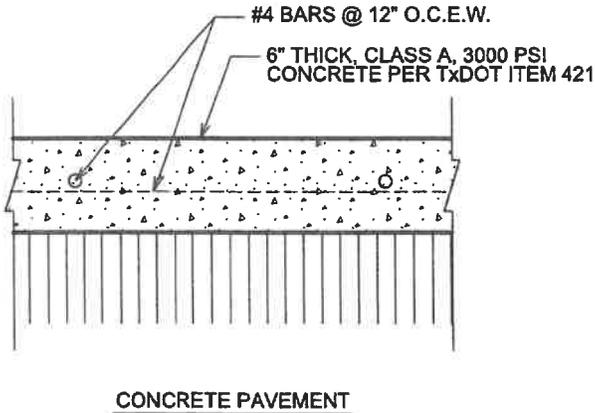
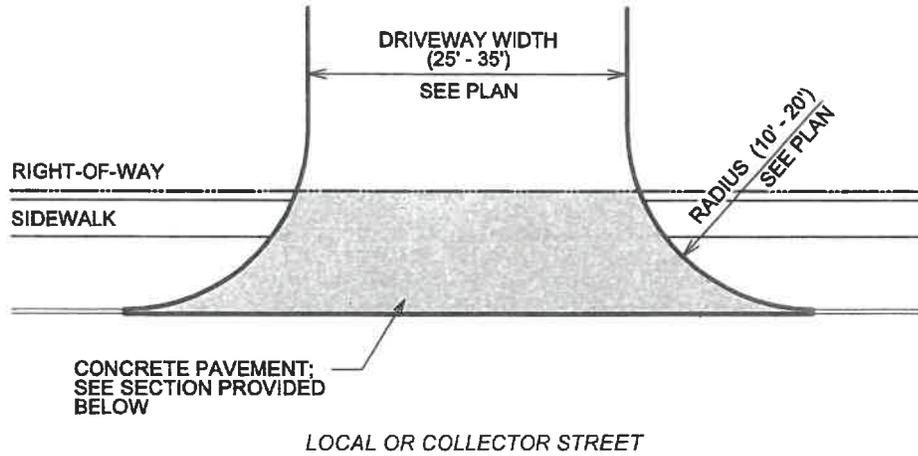
DATE: 11/22/19

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DATE: 11/22/19

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**GENERAL NOTES**

1. FOR CONCRETE PAVED DRIVEWAY USE CONSTRUCTION JOINT DETAIL IF JOINING TO EXISTING CONCRETE DRIVEWAY. USE EXPANSION JOINT DETAIL AT RIGHT-OF-WAY LINE.
2. FOR CONCRETE PAVED DRIVEWAY GRADE OF REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 IN ACCORDANCE WITH TxDOT ITEM 440.
3. FOR CONCRETE PAVED DRIVEWAY ALL REBAR TO BE SET ON BAR CHAIRS. PLASTIC OR METAL BAR CHAIRS ARE ACCEPTABLE; NO BRICKS, BROKEN CONCRETE, ROCKS, ETC.
4. SUBGRADE SHALL BE COMPACTED TO 90% STANDARD PROCTOR.



**COMMERCIAL DRIVEWAY  
(CONNECTING TO LOCAL OR  
COLLECTOR)**

**STANDARD CONSTRUCTION DETAILS**

DATE: 11/22/19

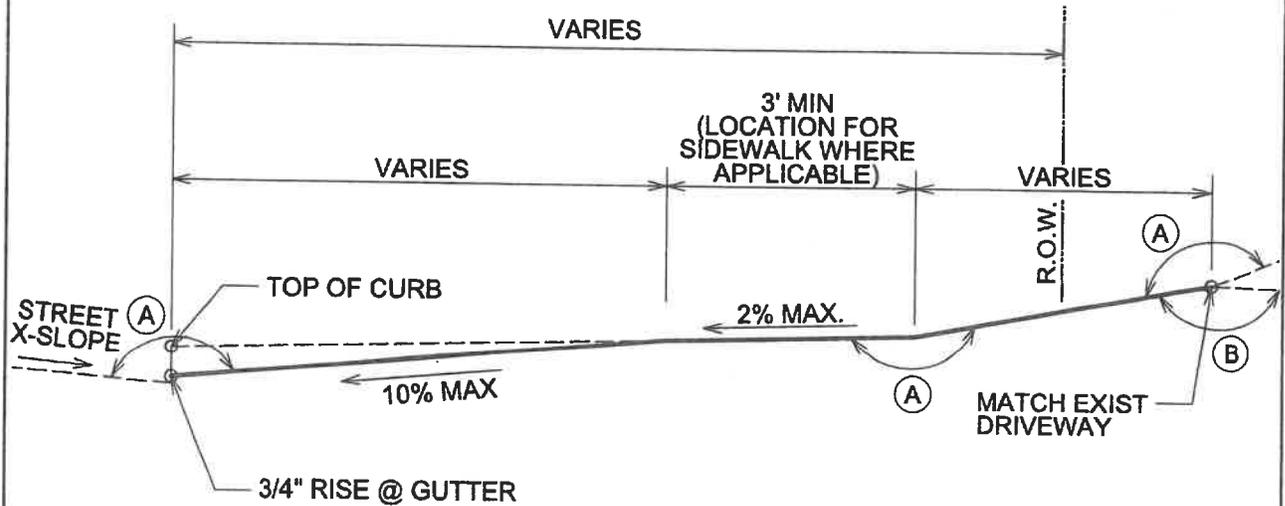
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DATE: 11/22/19

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## GENERAL NOTES

1. DRIVEWAY GRADE MUST RISE TO TOP OF CURB ELEVATION TO CONTROL DRAINAGE IN STREET GUTTER.

- (A) 8% MAX CHANGE IN GRADE (SAG PI)
- (B) 12% MAX CHANGE IN GRADE (CREST PI)



ALLOWABLE DRIVEWAY GRADE  
(RESIDENTIAL OR  
COMMERCIAL)

STANDARD CONSTRUCTION DETAILS

DATE: 11/22/19

REVISED  
DATE: 11/22/19

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City Of Bay City  
Standards for Access Driveways to City Streets

**NOTE: ANY DRIVEWAY THAT WILL ACCESS A STATE HIGHWAY FALLS UNDER THE JURISDICTION OF THE TEXAS DEPARTMENT OF TRANSPORTATION AND MUST MEET ALL STATE REGULATIONS.**

**Concrete Driveways Accessing City Streets MUST:**

**Obtain a building permit form the City Public Works Department. Complete and return along with a sketch of the layout with dimensions as close as possible to the Public Works Dept.**

**All drainage pipe type and size will be approved by the Public Works Department and can be installed by the owner/contractor or the Public Works Dept.**

**Driveways installed where there is a curb and gutter must have a valley drain that matches the flow design.**

**Where driveways meet at the shoulders of the street, it is the responsibility of the installer to make a gradual and smooth transition to prevent any traffic hazards.**

**These standards are only for driveways located in the city right of way. Any portion located on the owner's property will fall under the jurisdiction of the City Building Inspection Department.**

**Driveways must be a minimum of 12' wide**

**Concrete slab will be a minimum of 5" thick for residential use and 6" for commercial use.**

**All concrete shall be a class "A" 3000psi design mix.**

**All slabs will have a minimum of a 2" sand base.**

**All slabs will have a reinforcement mat containing #4 (1/2") rebar at 16" OC spacing each way max.**

**Slabs will have a bar running parallel with all edges of the forms with a clearance of no more than 3"**

**Mats will be supported with chairs to maintain as close to center of slab as possible.**

**Existing concrete road/street shall be doweled with #4 rebar 18" long @ 16" on center to a minimum depth of 6".**

**A Redwood expansion joint shall be used where the driveway meets the street and where driveway meets owner's property line and city right of way.**

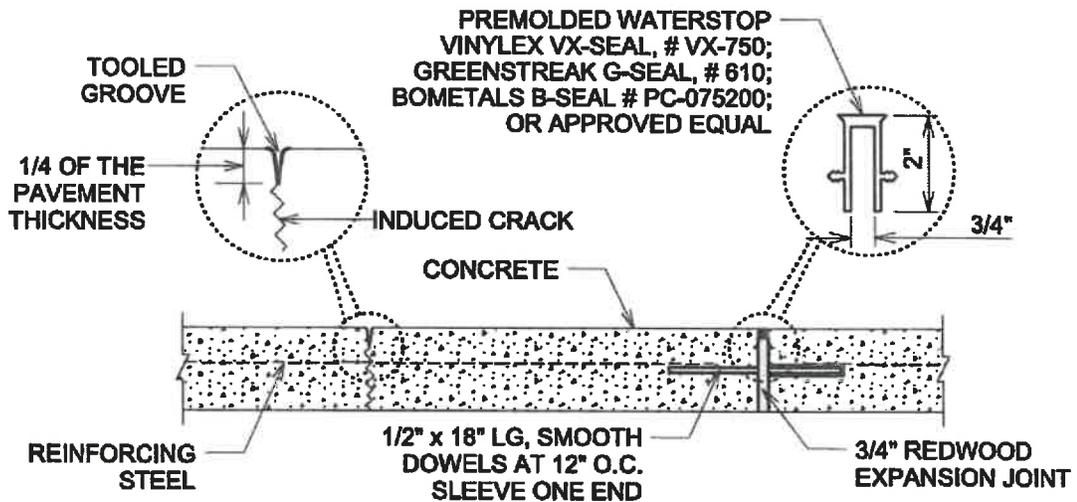
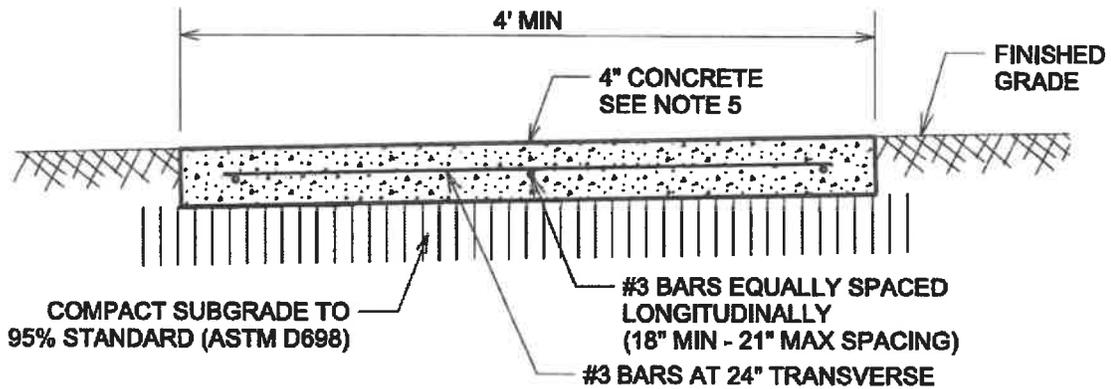
**NOTE: When a concrete driveway will tie into an Asphalt road/street, ALL criteria applies EXCEPT no expansion joint is needed between driveway and road.**

**There shall be a 24hr notice given to the City Public Works Dept. prior to placing concrete in order to insure all requirements have been met.**

**Any questions or concerns can be addressed by the City Public Works Office at 979-323-1659**

**GENERAL NOTES**

1. GRADE OF REINFORCING STEEL SHALL BE ASTM A615 GRADE 40 IN ACCORDANCE WITH TxDOT ITEM 440.
2. EXPANSION JOINTS SHALL BE LOCATED AT DRIVEWAYS AND OTHER FIXED OBJECTS AND AT 40' MAXIMUM INTERVALS ALONG THE SIDEWALK.
3. TOOLED CONTRACTION JOINTS SHALL BE LOCATED AT REGULAR INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
4. CONCRETE SHALL MEET THE REQUIREMENTS OF TxDOT ITEM 421 - HYDRAULIC CEMENT CONCRETE, CLASS A, 3,000 PSI CONCRETE WITH THE FOLLOWING MODIFICATIONS: SLUMP SHALL RANGE FROM 4 INCHES TO 6-1/2 INCHES AT THE POINT OF PLACEMENT.
5. SIDEWALKS SHALL BE SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS.
6. ALL REBAR TO BE SET ON BAR CHAIRS. PLASTIC OR METAL BAR CHAIRS ARE ACCEPTABLE; NO BRICKS, BROKEN CONCRETE, ROCKS, ETC.



**CONCRETE SIDEWALK  
(DETACHED FROM CURB)**

**STANDARD CONSTRUCTION DETAILS**

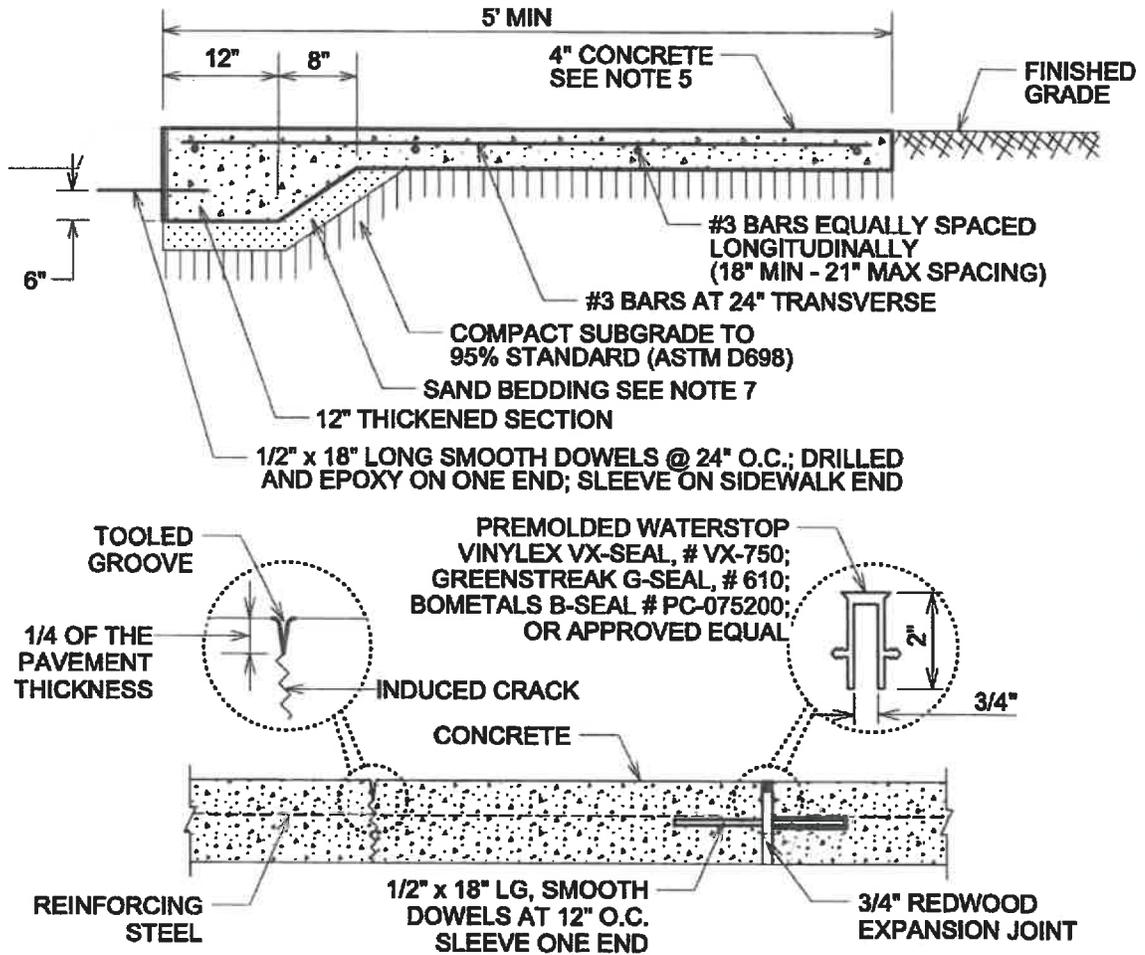
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DATE: 11/22/19

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**GENERAL NOTES**

1. GRADE OF REINFORCING STEEL SHALL BE ASTM A615 GRADE 40 IN ACCORDANCE WITH TxDOT ITEM 440.
2. EXPANSION JOINTS SHALL BE LOCATED AT DRIVEWAYS AND OTHER FIXED OBJECTS AND AT 40' MAXIMUM INTERVALS ALONG THE SIDEWALK.
3. TOOLED CONTRACTION JOINTS SHALL BE LOCATED AT REGULAR INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
4. CONCRETE SHALL MEET THE REQUIREMENTS OF TxDOT ITEM 421 - HYDRAULIC CEMENT CONCRETE, CLASS A, 3,000 PSI CONCRETE WITH THE FOLLOWING MODIFICATIONS: SLUMP SHALL RANGE FROM 4 INCHES TO 6-1/2 INCHES AT THE POINT OF PLACEMENT.
5. SIDEWALKS SHALL BE SLOPE IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS.
6. SIDEWALK ATTACHED TO CURB OR REQUIRING LEVELING UP SHALL BE BEDDED USING BANK SAND. BANK RUN SAND SHALL BE SP, SW OR SM PER USC (ASTM D2487) AND SHALL HAVE THE FOLLOWING PROPERTIES: LESS THAN 15% PASSING #200 SIEVE; LESS THAN 2% CLAY LUMPS; PI < 7; LL < 25.
7. ALL REBAR TO BE SET ON BAR CHAIRS. PLASTIC OR METAL BAR CHAIRS ARE ACCEPTABLE; NO BRICKS, BROKEN CONCRETE, ROCKS, ETC.



**CONCRETE SIDEWALK  
(ATTACHED TO CURB)**

**STANDARD CONSTRUCTION DETAILS**

DATE: 11/22/19

REVISED  
DATE: 11/22/19

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# New Residential / Commercial Service Taps Request

1217 Avenue J, Bay City, TX 77414  
(979) 323-1659

Name	
Address	
Phone Number	
Address of requested tap	<input type="checkbox"/> Commercial <input type="checkbox"/> Residential
Reason for requested tap	
Signature	Date

For Office Use Only					
Date Surveyed		Amount		Date Quoted	
Tap Size		Water Tap Service Agreement Completed		Receipt Number	Employee
Backflow Prevention Device Required	<input type="checkbox"/> YES <input type="checkbox"/> NO	Location of tap		<input type="checkbox"/> FRONT <input type="checkbox"/> REAR	

<b>NOTES</b>

Approval of Tap Request/Fees: \_\_\_\_\_

UTILITIES FOREMAN

\_\_\_\_\_  
UTILITIES MAINTENANCE  
SUPERINTENDENT

\_\_\_\_\_  
PUBLIC WORKS ASST DIRECTOR/DIRECTOR

**CITY OF BAY CITY  
WATER TAP SERVICE AGREEMENT**

- I. **PURPOSE.** The **CITY OF BAY CITY** is responsible for protecting the drinking water supply from contamination or pollution which could result from improper private water distribution system construction or configuration. The purpose of this service agreement is to notify each customer of the restrictions which are in place to provide this protection. The utility enforces these restrictions to ensure the public health and welfare. Each customer must sign this agreement before the **CITY OF BAY CITY, UTILITY DEPT.**, will begin service. In addition, when service to an existing connection has been suspended or terminated, the water system will not re-establish service unless it has a signed copy of this agreement.
- II. **RESTRICTIONS.** The following unacceptable practices are prohibited by State regulations.
- A. No direct connection between the public drinking water supply and a potential source of contamination is permitted. Potential sources of contamination shall be isolated from the public water system by an air-gap or an appropriate backflow prevention device.
  - B. No cross-connection between the public drinking water supply and a private water system is permitted. These potential threats to the public drinking water supply shall be eliminated at the service connection by the installation of an air-gap or a reduced pressure-zone backflow prevention device.
  - C. No connection which allows water to be returned to the public drinking water supply is permitted.
  - D. No pipe or pipe fitting which contains more than 8.0% lead may be used for the installation or repair of plumbing at any connection which provides water for human use.
  - E. No solder or flux which contains more than 0.2% lead can be used for the installation or repair of plumbing at any connection which provides water for human use.
- III. **SERVICE AGREEMENT.** The following are the terms of the service agreement between the **CITY OF BAY CITY, UTILITY DEPT.** and \_\_\_\_\_ (Name of Customer).
- A. The Water System will maintain a copy of this agreement as long as the customer and/or the premises is connected to the Water System.
  - B. The Customer shall allow his property to be inspected for possible cross-connections and other potential contamination hazards. These inspections shall be conducted by the Water System or its designated agent prior to initiating new water service; when there is reason to believe that cross-connections or other potential contamination hazards exist; or after any major changes to the private water distribution facilities. The inspections shall be conducted during the water System's normal business hours.
  - C. The Water System shall notify the Customer in writing of any cross-connection or other potential contamination hazard which has been identified during the initial inspection or the periodic reinspection.
  - D. The Customer shall immediately remove or adequately isolate any potential cross-connections or other potential contamination hazards on his premises.
  - E. The Customer shall, at his expense, properly install, test, and maintain any backflow prevention device required by the Water System. Copies of all testing and maintenance records shall be provided to the Water System.
- IV **ENFORCEMENT.** If the Customer fails to comply with the terms of the Service Agreement, the Water System shall, at its option, either terminate service or properly install, test, and maintain an appropriate backflow prevention device at the service connection. Any expenses associated with the enforcement of this agreement shall be billed to the Customer.

**Customer's Signature:** \_\_\_\_\_

**Date:** \_\_\_\_\_